

Fixtures						Appliances		Individual pool				Individual spa		
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 6 but <= 7.5 L/min)	4 star	4 star	4 star	no	-	-	-	-	-	-	-	-	-

	Alternative water source								
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (\$)	Laundry connection	Pool top-up	Spa top-up	
All dwellings	individual water tank (no. 1)	Tank size (min) 1000.0 litres	To collect run-off from at least: 100.0 square metres of roof area; 0.0 square metres of impervious area; 0.0 square metres of garden and lawn area; and 0.0 square metres of planter box area.	yes	yes	yes	no	no	
None	-	-	-	-	-	-	-	-	

Hot water		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
1, 2	gas instantaneous 6 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	natural ventilation only, or no laundry	-
All other dwellings	gas instantaneous 6 star	no mechanical ventilation (i.e. natural)	-	individual fan, ducted to façade or roof	manual switch on/off	natural ventilation only, or no laundry	-

	Cooling		Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/ toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
1, 2	-	-	-	-	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	yes
3, 4	-	-	-	-	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	2	yes
5, 6, 7, 8, 9, 10	-	-	-	-	3 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	2	yes
29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39	-	-	-	-	1 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	yes
All other dwellings	-	-	-	-	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	yes

	Individual pool		Individual spa		Appliances & other efficiency measures							
Dwelling no.	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	no	-	-	-	no	yes

		Alternative energy	
Dwelling no.		Photovoltaic system (min rated electrical output in peak kW)	
28, 30		1.5	
10, 19, 20, 21		2.0	
All other dwellings		0.0	

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	3 star	no common laundry facility

DEMOLITION OF AN EXISTING DWELLING AND ANCILLARY STRUCTURES

AND TREE REMOVAL TO FACILITATE THE CONSTRUCTION OF A

RETIREMENT VILLAGE TO COMPRISE THIRTY NINE (39) SERVICED

SELF-CARE DWELLINGS, PRIVATE ACCESS ROAD AND LANDSCAPING.

THE DEVELOPMENT APPLICATION INCLUDES A COMMUNITY TITLE





SUBDIVISION at

LOT 1, DP 1069961, HAMILTON ROAD,

ALBION PARK, NSW

ISSUE A, NOVEMBER 2020


LEGEND:

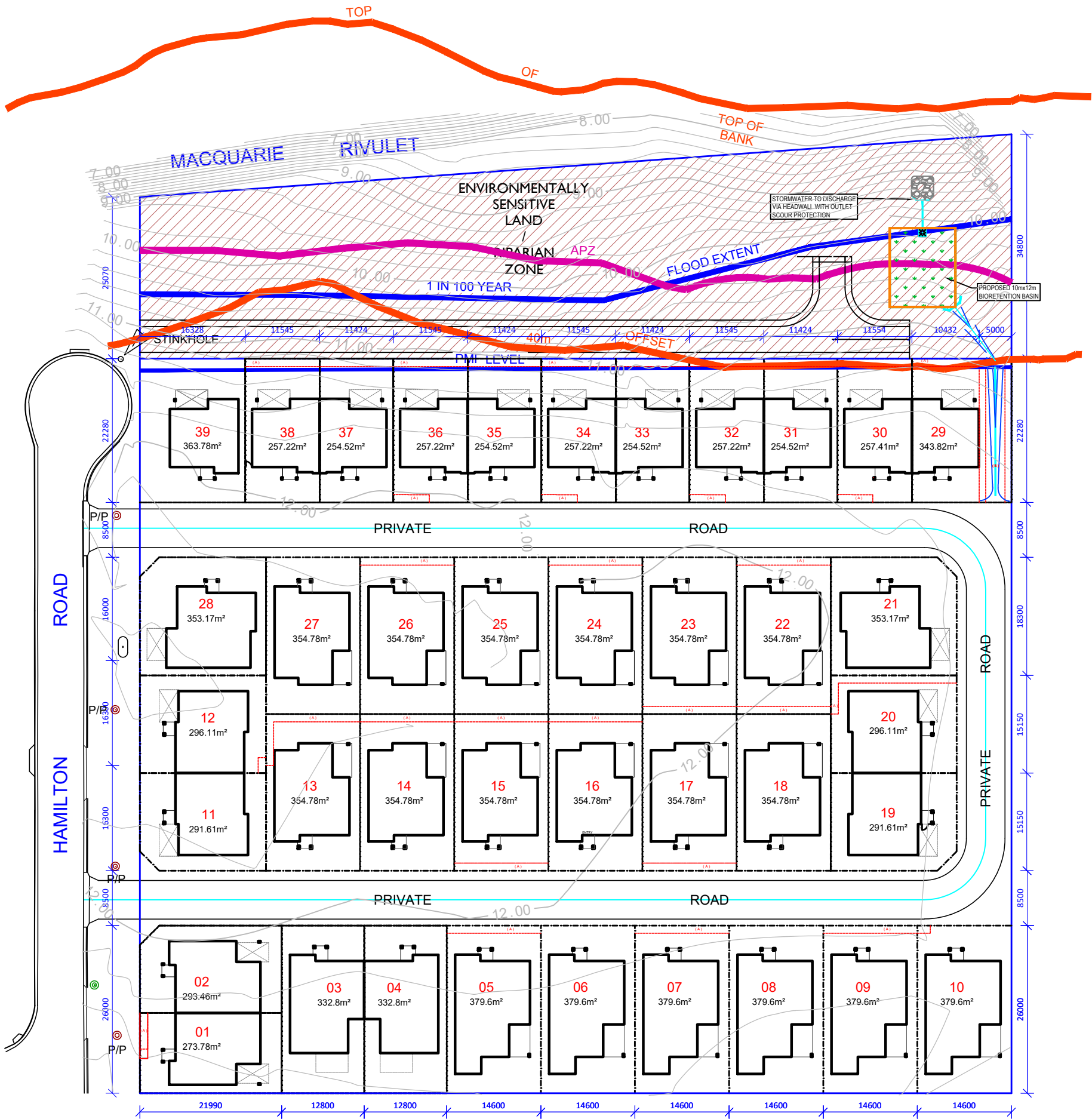
AHD	Australian Height Datum		
AS	Australian Standard		
BCA	Building Code of Australia		
BAL	Balustrade - metal	P	Pantry
BO	Building over	R	Robe
BTH	Bath	RF	Roof flashing
BU	Building under	RO	Roof over
CBD	Cupboard	◦ RWP	Rainwater downpipe
CC	Concrete column	RWG	Rainwater gutter
D	Door	RWT	Rainwater tank
◦ DP&S	Rainwater downpipe & spreader	slide_	Sliding door / window
DW	Dishwasher	SB	Steal beam
 EDB	Electrical distribution board	SC	Steal column
 EMB	Electrical meter board	SHR	Shower
EGL	Existing ground line	SK	Sink
ENS	Ensuite	SKY	Skylight
F	Fixed glazing	SLD	Sliding door
→ fall	Fall - floor, paving, roof	⊗ SMK	Smoke alarm
FRG	Fridge	ST	Storage
FW	Floor waste	SOD	Sectional overhead door
GL	Ground line	TP	Timber post
× GP	Gas point	V	Vanity
HR	Handrail	W	Window
+HC	Hose cock	AW	Awning opening - window
 HWS	Hot water system	WC	Water closet
L	Linen	WIR	Walk in robe
LDY	Laundry	WM	Washing machine
 MH	Manhole	00.00	existing level to AHD
OG	Obscure glazing	<div>RL 00.00</div>	Proposed structural level to AHD
OV/CT	Oven / cooktop	<div>FFL 00.00</div>	Proposed finished level to AHD

DRAWING LIST:

A01	PRELIMINARY SUBDIVISION PLAN	1:700
A02	SITE PLAN	1:700
A03-A07	- TYPE H01_ DUPLEX UNIT (LOT 01 - 02)	1:100
A08-A12	- TYPE H02_ DUPLEX UNIT (LOT 03 - 04)	1:100
A13-A22	- TYPE H03_ 3 BEDROOM UNITS (LOT 05 - 10)	1:100
A23-A27	- TYPE H04_ DUPLEX UNIT (LOT 11 - 12)	1:100
A28-A37	- TYPE H05_ 2 BEDROOM UNITS (LOT 13 - 18)	1:100
A38-A42	- TYPE H04_ DUPLEX UNIT (LOT 19 - 20)	1:100
A43-A47	-TYPE H06_ 2 BEDROOM UNIT (LOT 21)	1:100
A48-A57	-TYPE H05_ 2 BEDROOM UNITS (LOT 22 - 27)	1:100
A58-A62	- TYPE H06_ 2 BEDROOM UNIT (LOT 28)	1:100
A63-A67	- TYPE H07 & 08_ DUPLEX UNIT (LOT 29-30)	1:100
A68-A75	- TYPE H07 & 08_ DUPLEX UNIT (LOT 31-38)	1:100
A76-A80	- TYPE H9_ 1 BEDROOM UNIT (LOT 39)	1:100
A81	- WEST (HAMILTON ROAD) ELEVATION	1:300
A82	- DEMOLITION AND TREE REMOVAL	1:600
A83	- WASTE MANAGEMENT PLAN	1:600

Date:	Description:	Issue:	Notes: These drawings remain the executive copyright of Stiletto Homes. Reproductions in any form whether electronic, digital or otherwise shall not be allowed except by express permission granted in written by Stiletto Homes. Verify all dimensions on site and refer any discrepancies before proceeding with the works. These drawings are not to be scaled. Figured dimensions shall be used in all cases. This drawing is to be read in conjunction with other documentation in the drawing set.	
November 2020	FOR DEVELOPMENT APPLICATION	A		

		Project : A RETIREMENT VILLAGE TO COMPRISE THIRTY NINE (39) SERVICED SELF-CARE DWELLINGS AND PRIVATE ACCESS ROAD at LOT 1, DP 1069961, HAMILTON ROAD, ALBION PARK, NSW			
		Drawing Title: TITLE PAGE			
Project No.: T2 _ 2020 _ 02c				Drawing No.: A00	
Date:	NOVEMBER 2020	Scale:	Sheet: A3	Issue: A	



Areas :	(m ²)
PROPOSED LOT No. 1	273.78m ²
PROPOSED LOT No. 2	293.46m ²
PROPOSED LOT No. 3	332.80m ²
PROPOSED LOT No. 4	332.80m ²
PROPOSED LOT No. 5	379.60m ²
PROPOSED LOT No. 6	379.60m ²
PROPOSED LOT No. 7	379.60m ²
PROPOSED LOT No. 8	379.60m ²
PROPOSED LOT No. 9	379.60m ²
PROPOSED LOT No. 10	379.60m ²
PROPOSED LOT No. 11	291.61m ²
PROPOSED LOT No. 12	296.11m ²
PROPOSED LOT No. 13	354.58m ²
PROPOSED LOT No. 14	354.58m ²
PROPOSED LOT No. 15	354.58m ²
PROPOSED LOT No. 16	354.58m ²
PROPOSED LOT No. 17	354.58m ²
PROPOSED LOT No. 18	354.58m ²
PROPOSED LOT No. 19	291.61m ²
PROPOSED LOT No. 20	296.11m ²
PROPOSED LOT No. 21	353.17m ²
PROPOSED LOT No. 22	354.78m ²
PROPOSED LOT No. 23	354.78m ²
PROPOSED LOT No. 24	354.78m ²
PROPOSED LOT No. 25	354.78m ²
PROPOSED LOT No. 26	354.78m ²
PROPOSED LOT No. 27	354.78m ²
PROPOSED LOT No. 28	353.17m ²
PROPOSED LOT No. 29	343.82m ²
PROPOSED LOT No. 30	257.41m ²
PROPOSED LOT No. 31	254.52m ²
PROPOSED LOT No. 32	257.22m ²
PROPOSED LOT No. 33	254.52m ²
PROPOSED LOT No. 34	257.22m ²
PROPOSED LOT No. 35	254.52m ²
PROPOSED LOT No. 36	257.22m ²
PROPOSED LOT No. 37	254.52m ²
PROPOSED LOT No. 38	257.22m ²
PROPOSED LOT No. 38	363.78m ²
TOTAL AREA OF PROPOSED LOTS	
12659.15m ²	

LEGEND:

TOTAL SITE AREA - 19,442m²

ENVIRONMENTALLY SENSITIVE LAND - 4,046.50m²

PROPOSED BOUNDARY LINE

(A)

DRAINAGE EASEMENT - 1.2m wide

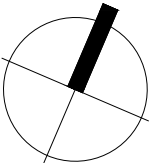
(B)

DRAINAGE EASEMENT - 3m wide

Date:	Description:	Issue:
November 2020	FOR DEVELOPMENT APPLICATION	A

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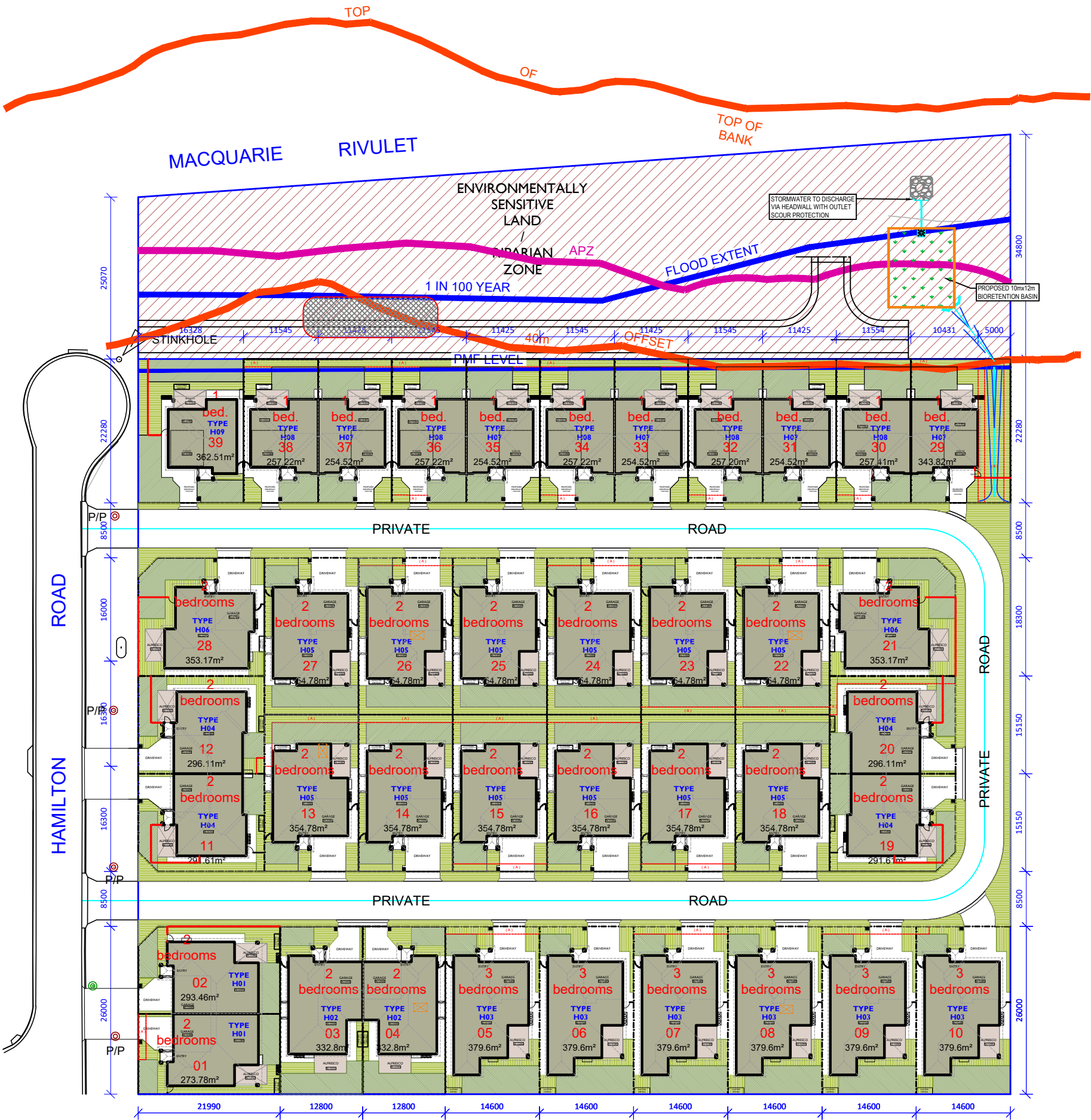


Project : A RETIREMENT VILLAGE TO COMPRISE THIRTY NINE (39) SERVICED SELF-CARE DWELLINGS AND PRIVATE ACCESS ROAD at LOT 1, DP 1069961, HAMILTON ROAD, ALBION PARK, NSW			
Drawing Title: PRELIMINARY SUBDIVISION PLAN			
Project No.: T2 _ 2020 _ 02c			Drawing No.: A01
Date: NOVEMBER 2020	Scale: 1 : 700	Sheet: A3	Issue: A

GENERAL NOTE:
Building Work - Compliance with the Building Code of Australia
All building work must be carried out in compliance with the provisions of the Building Code of Australia.
NOTE:
Building Code Compliance
Residential buildings are required to be provided with a smoke alarm to AS 3786 and as per the BCA requirements.
This location of the smoke alarms shall be positioned on each floor, at intermediate stair levels, and outside bedrooms.
REFER TO FLOOR PLANS FOR DETAILS

- NOTES:
1. ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE CIVIL ENGINEERS DOCUMENTATION.
2. ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE LANDSCAPE PLAN. REFER TO LANDSCAPE PLAN FOR DETAILS OF PAVING AND PLANTING.
3. REFER TO THE CIVIL ENGINEERS DOCUMENTATION FOR DRAINAGE AND STORM WATER DETAILS AND ALL EXTERNAL SURFACE LEVELS.

NOTE:
Car Parking and Access
The parking dimensions, internal circulation, aisle widths, kerb splay corners, head clearance heights, ramp widths and grades of the car parking areas are compliant with the current relevant Australian Standard AS2890.1



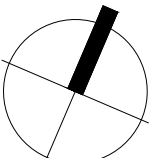
- 6 - 3 Bedrooms Un - 15.4%
14 - 2 Bedrooms Un - 35.9%
8 - Duplex un 2-bed- 20.5%
10 - Duplex un 1-bed- 25.6%
1 - 1 Bedrooms Un - 2.6%

- LEGEND:
TOTAL SITE AREA - 19,442m²
ENVIRONMENTALLY SENSITIVE LAND - 4,046.50m²
-DEVELOPMENT AREA -15,395.5m²
DEEP SOIL ZONES >15% - 2311.48 = 15.01%
TOTAL LANDSCAPING AREA > 30% - 4952.77= 32.17%
HOUSE / GFA 3733.96m² - FSR24.25%
ALFRESCO > 15m² - 585m²
DRAINAGE EASEMENT - 1.2m wide
DRAINAGE EASEMENT - 3m wide

Scale 1 : 700

Date:	Description:	Issue:
November 2020	FOR DEVELOPMENT APPLICATION	A

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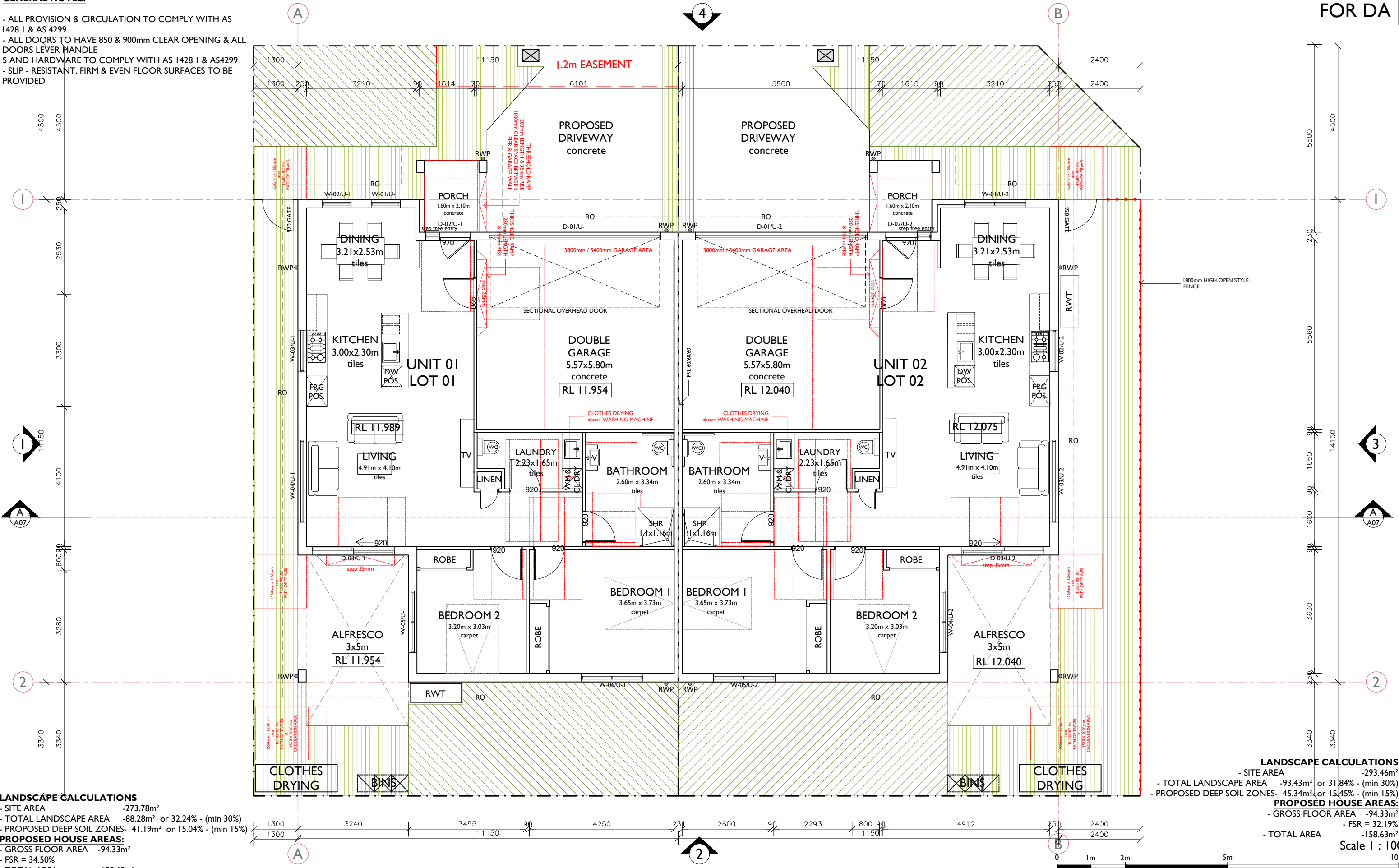


Project : A RETIREMENT VILLAGE TO COMPRISE THIRTY NINE (39) SERVICED SELF-CARE DWELLINGS AND PRIVATE ACCESS ROAD at LOT 1, DP 1069961, HAMILTON ROAD, ALBION PARK, NSW			
Drawing Title: SITE PLAN			
Project No.: T2 _ 2020 _ 02c			Drawing No.: A02
Date: NOVEMBER 2020	Scale: 1 : 700	Sheet: A3	Issue: A

GENERAL NOTES:

- ALL PROVISION & CIRCULATION TO COMPLY WITH AS 1428.1 & AS 4299
- ALL DOORS TO HAVE 850 & 900mm CLEAR OPENING & ALL DOORS LEVER HANDLE
- S AND HARDWARE TO COMPLY WITH AS 1428.1 & AS4299
- SLIP - RESISTANT, FIRM & EVEN FLOOR SURFACES TO BE PROVIDED

FOR DA



Date:	Description:	Issue:	Notes:
November 2020	FOR DEVELOPMENT APPLICATION	A	These drawings remain the executive copyright of Stiletto Homes. Reproductions in any form whether electronic, digital or otherwise shall not be allowed except by express permission granted in written by Stiletto Homes. Verify all dimensions on site and refer any discrepancies before proceeding with the works. These drawings are not to be scaled. Figured dimensions shall be used in all cases. This drawing is to be read in conjunction with other documentation in the drawing set.

Project : A RETIREMENT VILLAGE TO COMPRISE THIRTY NINE (39) SERVICED SELF-CARE DWELLINGS AND PRIVATE ACCESS ROAD at LOT 1, DP 1069961, HAMILTON ROAD, ALBION PARK, NSW	
Drawing Title: GROUND FLOOR PLAN_ DUPLEX PROPOSAL_H01_ LOT 01 & 02	
Project No.: T2 _ 2020 _ 02c	Drawing No.: A 03
Date: NOVEMBER 2020	Scale: 1 : 100
Sheet: A3	Issue: A

- SITE AREA	-332.80m ²
- TOTAL LANDSCAPE AREA	-115.41m ²
or 34.68% - (min 30%)	
- PROPOSED DEEP SOIL ZONES-	61.91m ²
or 18.60% - (min 15%)	
PROPOSED HOUSE AREAS:	
- GROSS FLOOR AREA	-109.42m ²
- FSR = 32.88%	
- TOTAL AREA	-173.00m ²

- SITE AREA	-332.80m ²
- TOTAL LANDSCAPE AREA	-115.41m ²
or 34.68% - (min 30%)	
- PROPOSED DEEP SOIL ZONES-	61.91m ²
or 18.60% - (min 15%)	
PROPOSED HOUSE AREAS:	
- GROSS FLOOR AREA	-109.42m ²
- FSR = 32.88%	
- TOTAL AREA	-173.00m ²

- GROSS FLOOR AREA	- 109.42m ²
- FSR = 32.88%	
- TOTAL AREA	- 173.00m ²

- GROSS FLOOR AREA	- 109.42m ²
- FSR = 32.88%	
- TOTAL AREA	- 173.00m ²

SITE AREA -332.80m²
 - TOTAL LANDSCAPE AREA -115.41m²
 or 34.68% - (min 30%)
 - PROPOSED DEEP SOIL ZONES- 61.91m²
 or 18.60% - (min 15%)
PROPOSED HOUSE AREAS:
 - GROSS FLOOR AREA -109.42m²
 - FSR = 32.88%
 - TOTAL AREA -173.00m²

SITE AREA -332.80m²
 - TOTAL LANDSCAPE AREA -115.41m²
 or 34.68% - (min 30%)
 - PROPOSED DEEP SOIL ZONES- 61.91m²
 or 18.60% - (min 15%)
PROPOSED HOUSE AREAS:
 - GROSS FLOOR AREA -109.42m²
 - FSR = 32.88%
 - TOTAL AREA -173.00m²


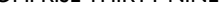
- GROSS FLOOR AREA -109.42m²
- FSR = 32.88%
- TOTAL AREA -173.00m²

- GROSS FLOOR AREA -109.42m²
- FSR = 32.88%
- TOTAL AREA -173.00m²

- ALL PROVISION & CIRCULATION TO COMPLY WITH AS 1428.1 & AS 4299
- ALL DOORS TO HAVE 850 & 900mm CLEAR OPENING & ALL DOORS LEVER HANDLE
- S AND HARDWARE TO COMPLY WITH AS 1428.1 & AS4299
- SLIP - RESISTANT, FIRM & EVEN FLOOR SURFACES TO BE PROVIDED

- ALL PROVISION & CIRCULATION TO COMPLY WITH AS 1428.1 & AS 4299
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A horizontal number line with tick marks at 0, 1m, 2m, 5m, and 10m. The line is labeled with these values above the tick marks.

Date:	Description:	Issue:	Notes:			Project : A RETIREMENT VILLAGE TO COMPRISE THIRTY NINE (39) SERVICED SELF-CARE DWELLINGS AND PRIVATE ACCESS ROAD at LOT 1, DP 1069961, HAMILTON ROAD, ALBION PARK, NSW.				
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						Project No.: T2 _ 2020 _ 02c			Drawing No.: A 08	
						Date: NOVEMBER 2020		Scale: 1 : 100	Sheet: A3	Issue: A

- GENERAL NOTES:**

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Drawing Title: GROUND FLOOR PLAN_ 3 BEDROOM HOUSE_H03_
LOT 05-10

Drawing No.: A 13

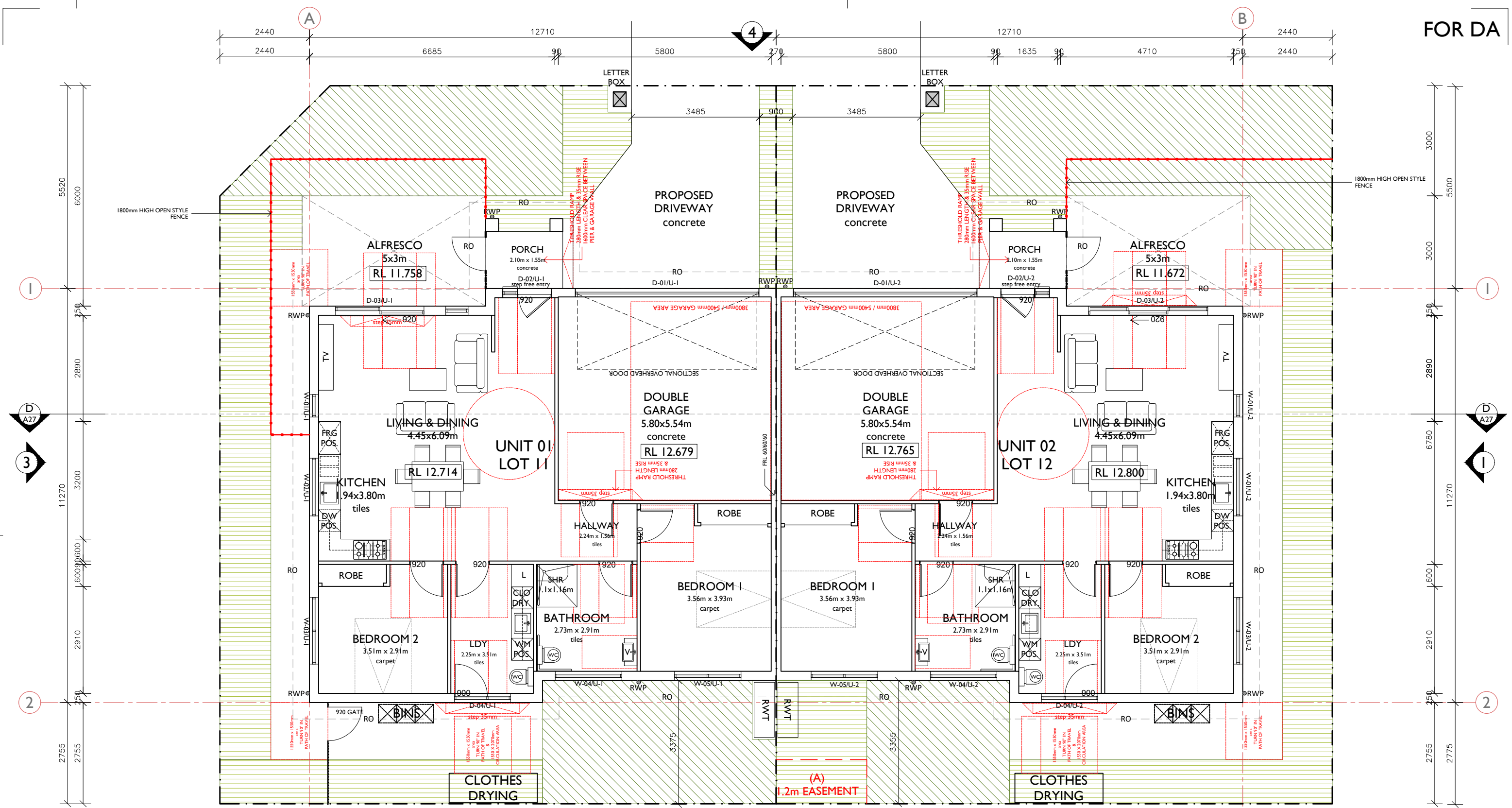
Scale: 1 = 100

Issue: A

LANDSCAPE CALCULATIONS

PROPOSED HOUSE AREAS:

Scale 1 : 100



LANDSCAPE CALCULATIONS

- SITE AREA -291.61m²
- TOTAL LANDSCAPE AREA -85.93m² or 30.00% (min 30%)
- PROPOSED DEEP SOIL ZONES- 43.81m² or 15.02% (min 15%)

PROPOSED HOUSE AREAS:

- GROSS FLOOR AREA -93.05m²
- FSR = 31.91%
- TOTAL AREA -155.38m²

Scale 1 : 100

GENERAL NOTES:

- ALL PROVISION & CIRCULATION TO COMPLY WITH AS 1428.1 & AS 4299
- ALL DOORS TO HAVE 850 & 900mm CLEAR OPENING & ALL DOORS LEVER HANDLE S AND HARDWARE TO COMPLY WITH AS 1428.1 & AS4299
- SLIP - RESISTANT, FIRM & EVEN FLOOR SURFACES TO BE PROVIDED

LANDSCAPE CALCULATIONS

- SITE AREA -291.61m²
- TOTAL LANDSCAPE AREA -91.06m² or 31.23% (min 30%)
- PROPOSED DEEP SOIL ZONES- 44.26m² or 15.18% (min 15%)

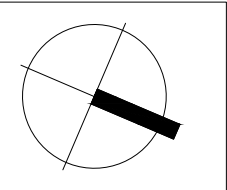
PROPOSED HOUSE AREAS:

- GROSS FLOOR AREA -93.05m²
- FSR = 31.91%
- TOTAL AREA -155.38m²

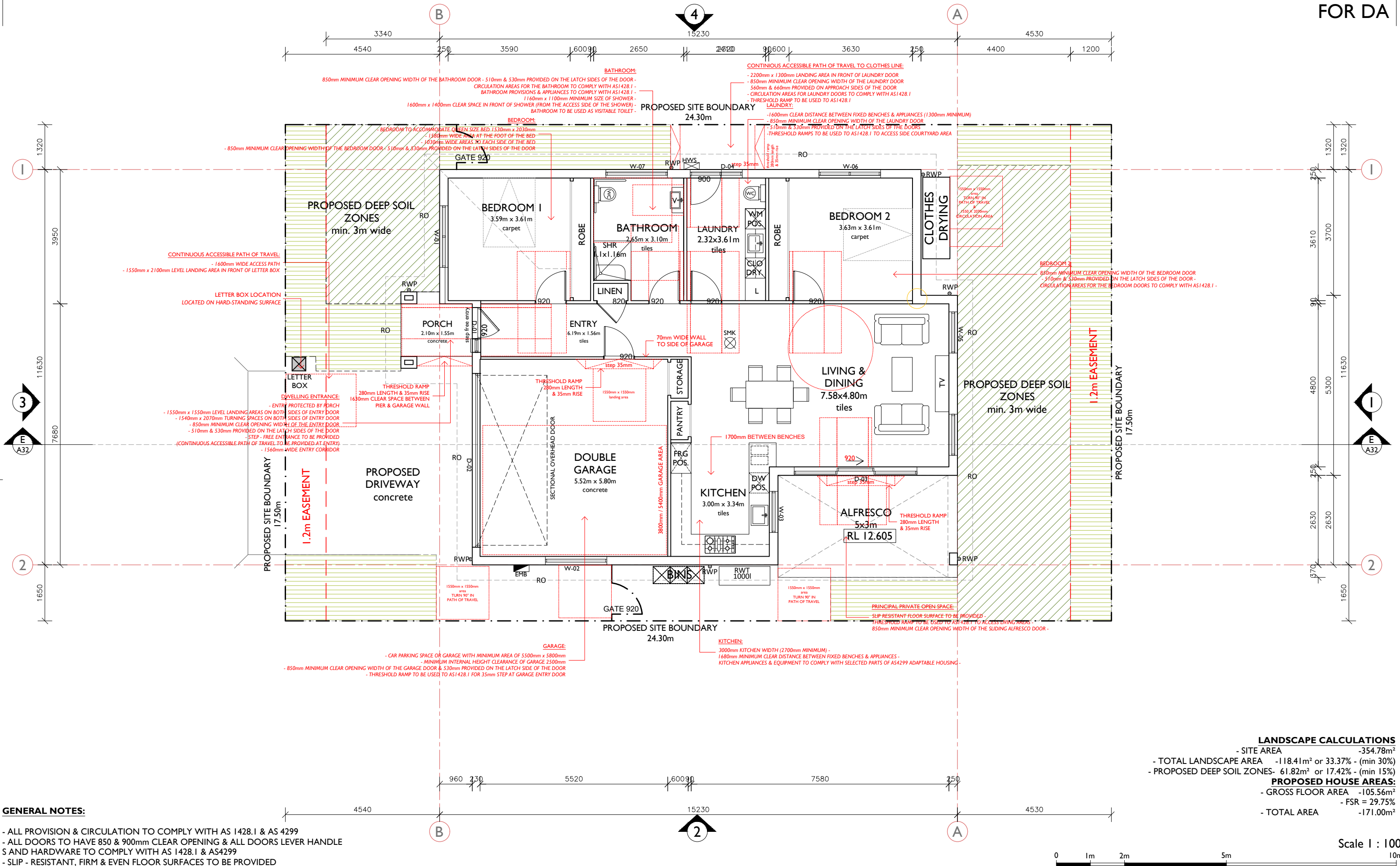
Scale 1 : 100

Date:	Description:	Issue:
November 2020	FOR DEVELOPMENT APPLICATION	A

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Project : A RETIREMENT VILLAGE TO COMPRISE THIRTY NINE (39) SERVICED SELF-CARE DWELLINGS AND PRIVATE ACCESS ROAD at LOT 1, DP 1069961, HAMILTON ROAD, ALBION PARK, NSW			
Drawing Title: GROUND FLOOR PLAN_ DUPLEX PROPOSAL_H04_ LOT 11 & 12			
Project No.: T2 _ 2020 _ 02c		Drawing No.: A 23	
Date: NOVEMBER 2020	Scale: 1 : 100	Sheet: A3	Issue: A




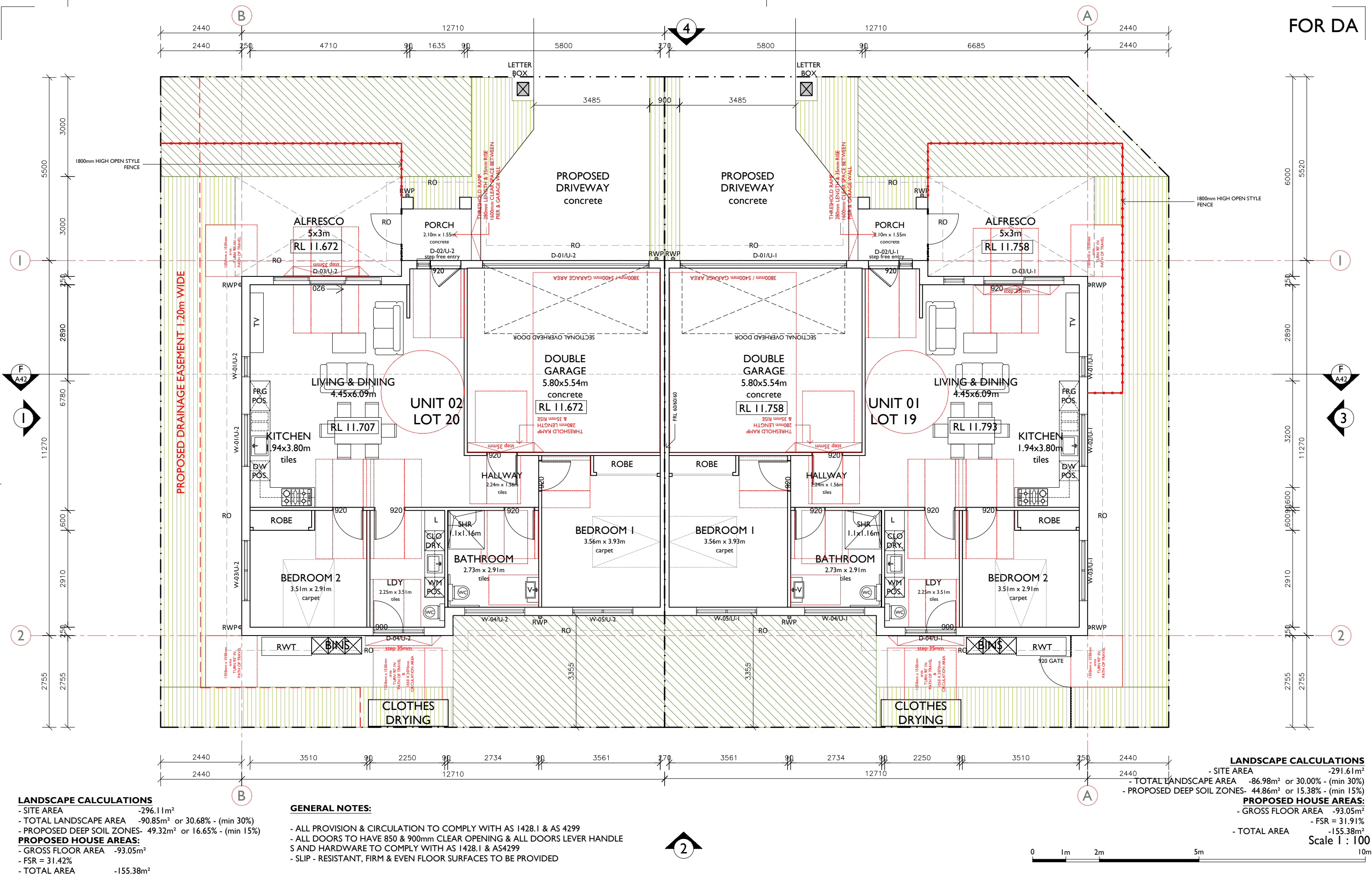
GENERAL NOTES:

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- SLIP - RESISTANT, FIRM & EVEN FLOOR SURFACES TO BE PROVIDED

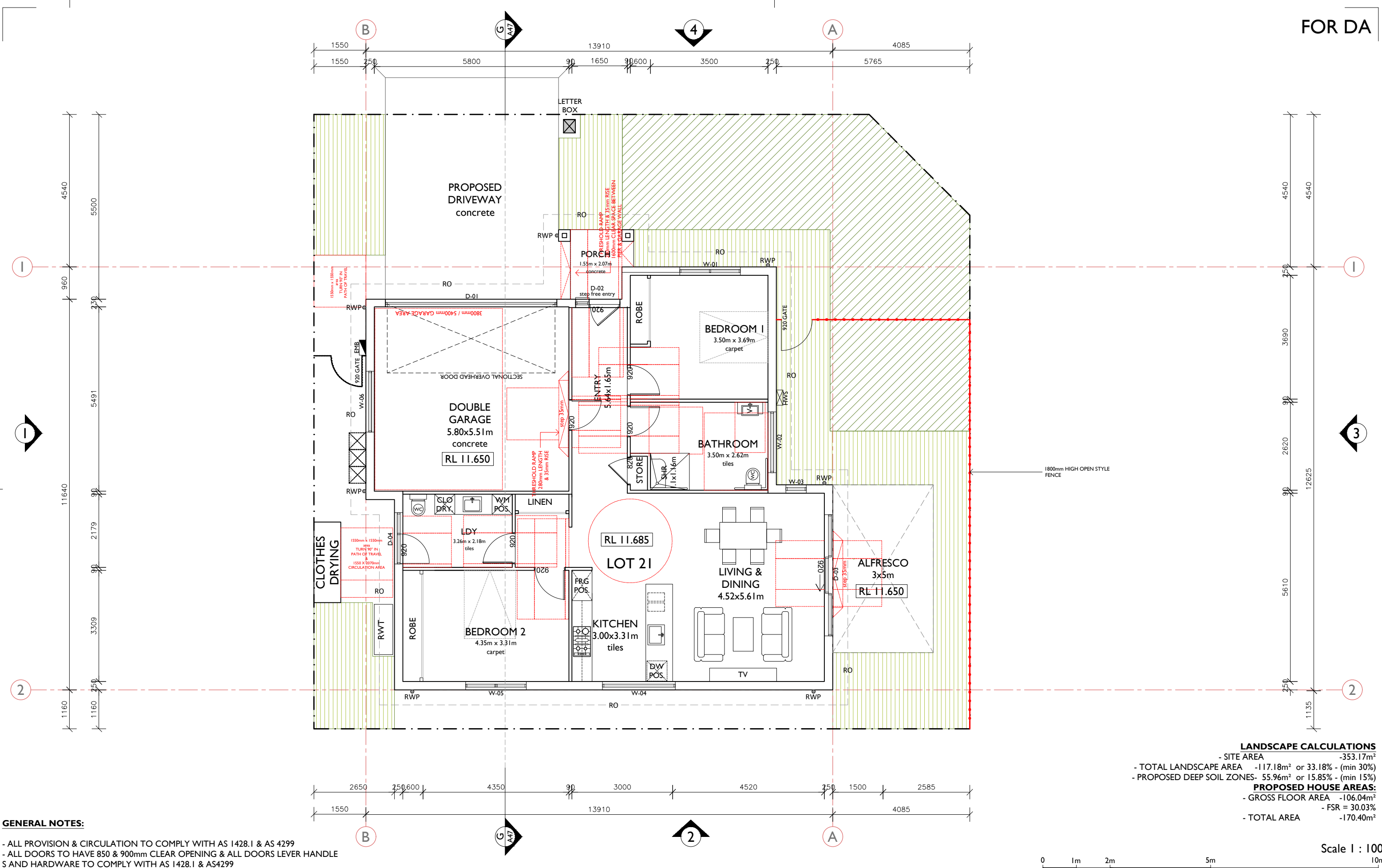
LANDSCAPE CALCULATIONS	
- SITE AREA	- 354.78m ²
- TOTAL LANDSCAPE AREA	- 118.41m ² or 33.37% - (min 30%)
- PROPOSED DEEP SOIL ZONES-	- 61.82m ² or 17.42% - (min 15%)
PROPOSED HOUSE AREAS:	
- GROSS FLOOR AREA	- 105.56m ²
- FSR =	- 29.75%
- TOTAL AREA	- 171.00m ²

Date:	Description:	Issue:	Notes:
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		Project : A RETIREMENT VILLAGE TO COMPRISE THIRTY NINE (39) SERVICED SELF-CARE DWELLINGS AND PRIVATE ACCESS ROAD at LOT 1, DP 1069961, HAMILTON ROAD, ALBION PARK, NSW	
Drawing Title:		GROUND FLOOR PLAN_ 2 BEDROOM HOUSE_H05_ LOT 13-18	
Project No.:		T2 _ 2020 _ 02c	Drawing No.: A 28
Date:	NOVEMBER 2020	Scale:	I : 100
Sheet:	A3	Issue:	A



Date:	Description:	Issue:	Notes:		
November 2020	FOR DEVELOPMENT APPLICATION	A	These drawings remain the executive copyright of Stiletto Homes. Reproductions in any form whether electronic, digital or otherwise shall not be allowed except by express permission granted in written by Stiletto Homes. Verify all dimensions on site and refer any discrepancies before proceeding with the works. These drawings are not to be scaled. Figured dimensions shall be used in all cases. This drawing is to be read in conjunction with other documentation in the drawing set.		
Project : A RETIREMENT VILLAGE TO COMPRISE THIRTY NINE (39) SERVICED SELF-CARE DWELLINGS AND PRIVATE ACCESS ROAD at LOT 1, DP 1069961, HAMILTON ROAD, ALBION PARK, NSW					
Drawing Title: GROUND FLOOR PLAN_ DUPLEX PROPOSAL_H04_ LOT 19 & 20					
Project No.: T2 _ 2020 _ 02c			Drawing No.: A 38		
Date:	NOVEMBER 2020	Scale:	1 : 100	Sheet:	A3
			Issue:	A	

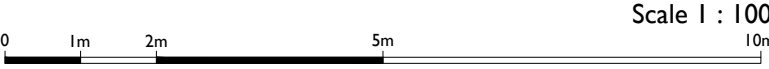


GENERAL NOTES:

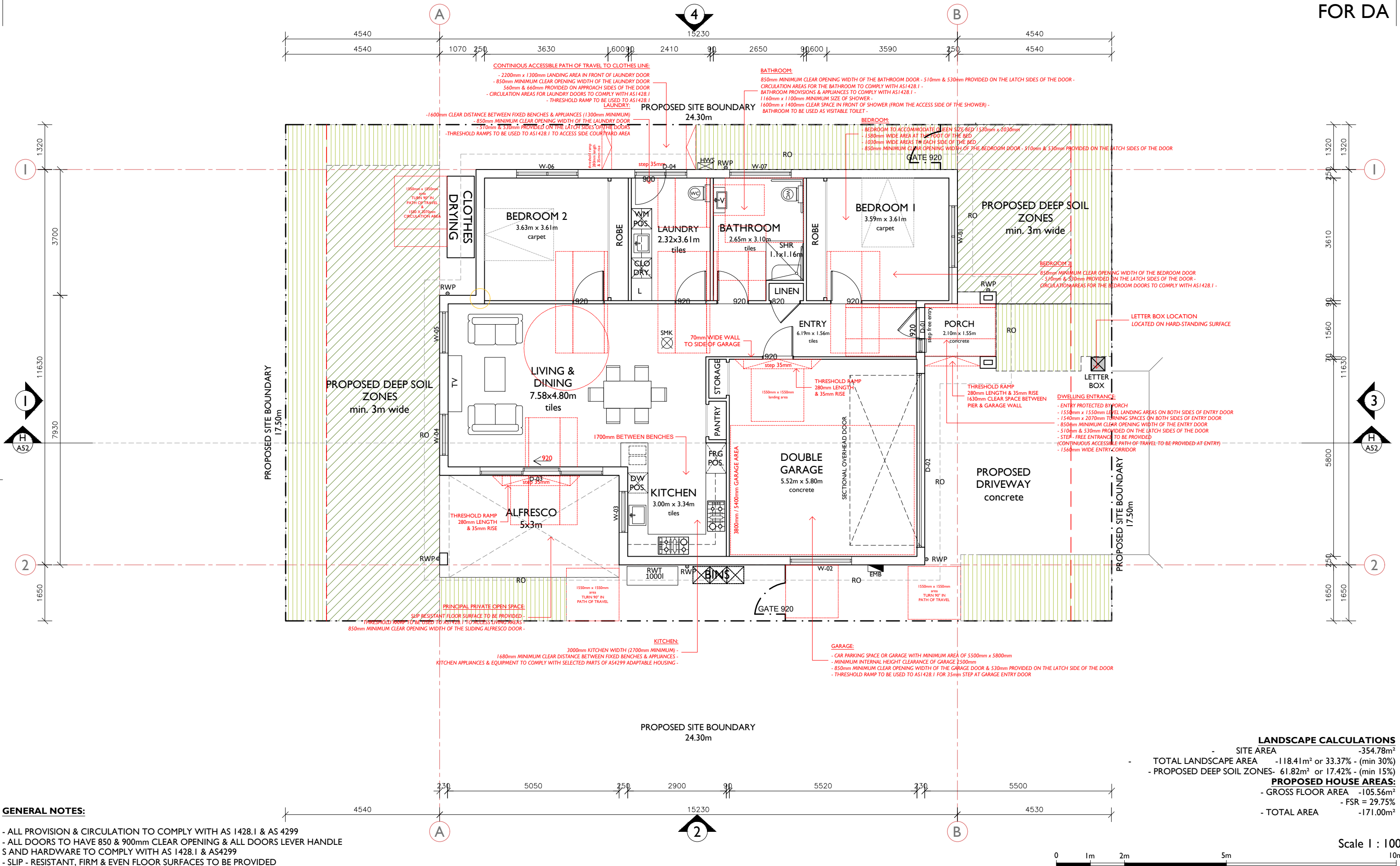
- ALL PROVISION & CIRCULATION TO COMPLY WITH AS 1428.1 & AS 4299
- ALL DOORS TO HAVE 850 & 900mm CLEAR OPENING & ALL DOORS LEVER HANDLE
- S AND HARDWARE TO COMPLY WITH AS 1428.1 & AS4299
- SLIP - RESISTANT, FIRM & EVEN FLOOR SURFACES TO BE PROVIDED

Date:	Description:	Issue:	Notes:
November 2020	FOR DEVELOPMENT APPLICATION	A	These drawings remain the executive copyright of Stiletto Homes. Reproductions in any form whether electronic, digital or otherwise shall not be allowed except by express permission granted in written by Stiletto Homes. Verify all dimensions on site and refer any discrepancies before proceeding with the works. These drawings are not to be scaled. Figured dimensions shall be used in all cases. This drawing is to be read in conjunction with other documentation in the drawing set.

Project : A RETIREMENT VILLAGE TO COMPRISE THIRTY NINE (39) SERVICED SELF-CARE DWELLINGS AND PRIVATE ACCESS ROAD at LOT 1, DP 1069961, HAMILTON ROAD, ALBION PARK, NSW			
Drawing Title: GROUND FLOOR PLAN_ 2 BEDROOM HOUSE_H06_ LOT 21			
Project No.: T2 _ 2020 _ 02c			Drawing No.: A43
Date: NOVEMBER 2020	Scale: 1 : 100	Sheet: A3	Issue: A



Scale 1 : 100




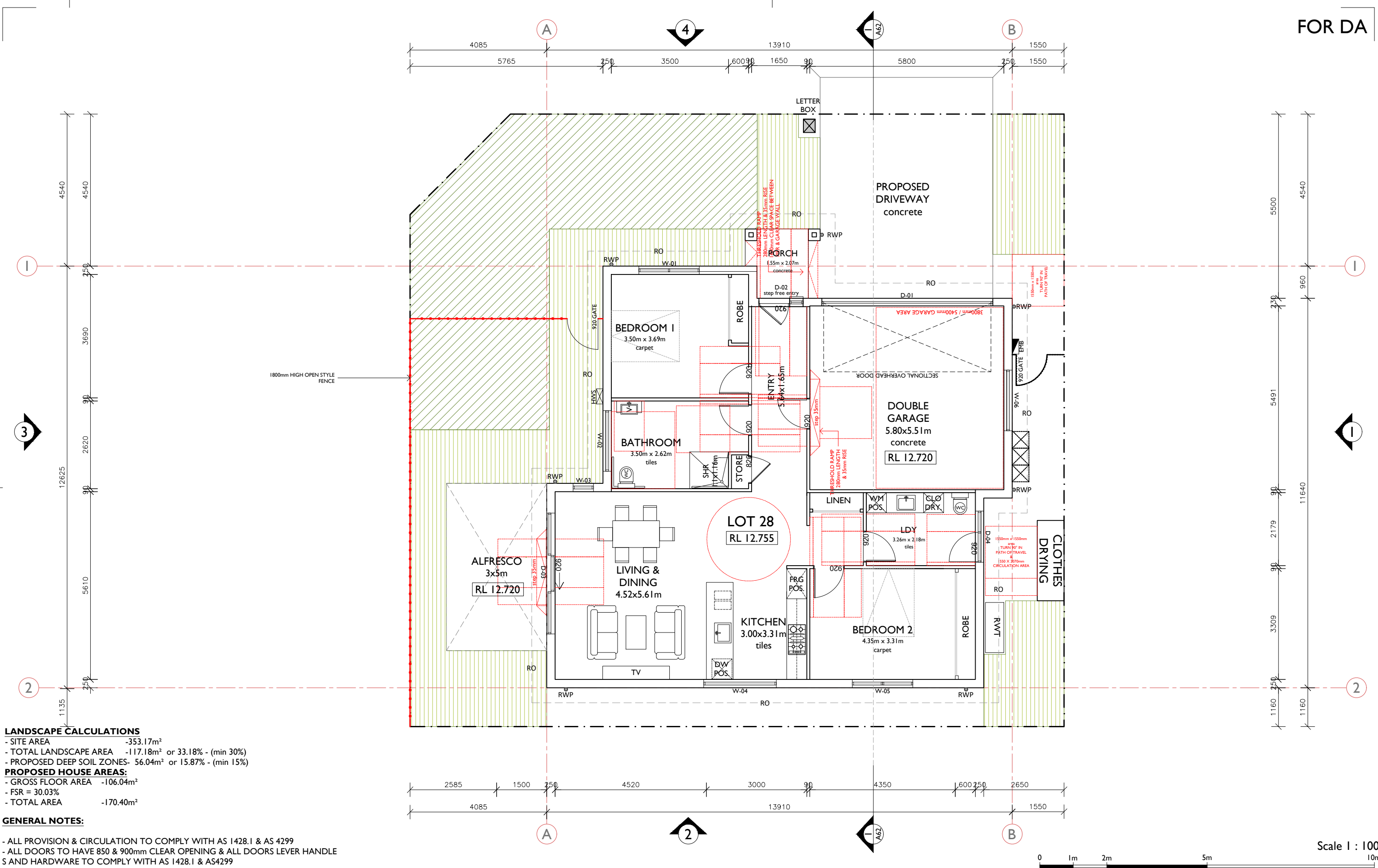
GENERAL NOTES:

- ALL PROVISION & CIRCULATION TO COMPLY WITH AS 1428.1 & AS 4299
- ALL DOORS TO HAVE 850 & 900mm CLEAR OPENING & ALL DOORS LEVER HANDLE S AND HARDWARE TO COMPLY WITH AS 1428.1 & AS4299
- SLIP - RESISTANT, FIRM & EVEN FLOOR SURFACES TO BE PROVIDED

LANDSCAPE CALCULATIONS		
- SITE AREA	- 354.78m ²	
- TOTAL LANDSCAPE AREA	- 118.41m ² or 33.37% - (min 30%)	
- PROPOSED DEEP SOIL ZONES	- 61.82m ² or 17.42% - (min 15%)	
PROPOSED HOUSE AREAS:		
- GROSS FLOOR AREA	- 105.56m ²	
- FSR	- 29.75%	
- TOTAL AREA	- 171.00m ²	

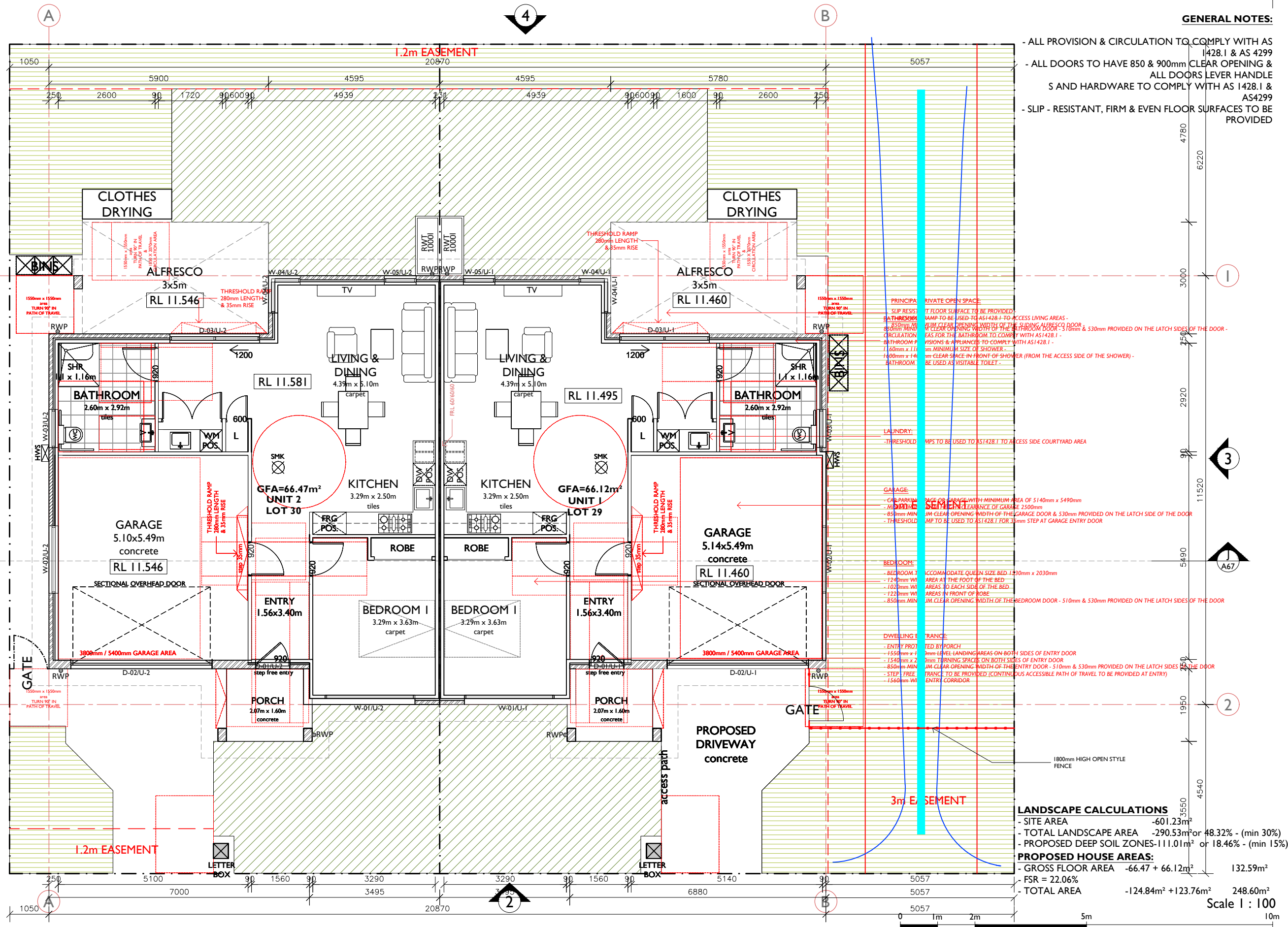
Date:	Description:	Issue:	Notes: These drawings remain the executive copyright of Stiletto Homes. Reproductions in any form whether electronic, digital or otherwise shall not be allowed except by express permission granted in written by Stiletto Homes. Verify all dimensions on site and refer any discrepancies before proceeding with the works. These drawings are not to be scaled. Figured dimensions shall be used in all cases. This drawing is to be read in conjunction with other documentation in the drawing set.
November 2020	FOR DEVELOPMENT APPLICATION	A	

		Project : A RETIREMENT VILLAGE TO COMPRISE THIRTY NINE (39) SERVICED SELF-CARE DWELLINGS AND PRIVATE ACCESS ROAD at LOT 1, DP 1069961, HAMILTON ROAD, ALBION PARK, NSW	
		Drawing Title: GROUND FLOOR PLAN_ 2 BEDROOM HOUSE_H05_ LOT 22-27	
Project No.: T2 _ 2020 _ 02c		Drawing No.: A 48	
Date: NOVEMBER 2020	Scale: 1 : 100	Sheet: A3	Issue: A



Date:	Description:	Issue:	Notes:			Project : A RETIREMENT VILLAGE TO COMPRISE THIRTY NINE (39) SERVICED SELF-CARE DWELLINGS AND PRIVATE ACCESS ROAD at LOT 1, DP 1069961, HAMILTON ROAD, ALBION PARK, NSW			
November 2020	FOR DEVELOPMENT APPLICATION	A	These drawings remain the executive copyright of Stiletto Homes. Reproductions in any form whether electronic, digital or otherwise shall not be allowed except by express permission granted in written by Stiletto Homes. Verify all dimensions on site and refer any discrepancies before proceeding with the works. These drawings are not to be scaled. Figured dimensions shall be used in all cases. This drawing is to be read in conjunction with other documentation in the drawing set.			Drawing Title: GROUND FLOOR PLAN_ 2 BEDROOM HOUSE_H06_ LOT 28			
						Project No.: T2 _ 2020 _ 02c			Drawing No.: A 58
						Date: NOVEMBER 2020		Scale: 1 : 100	Sheet: A3
								Issue: A	

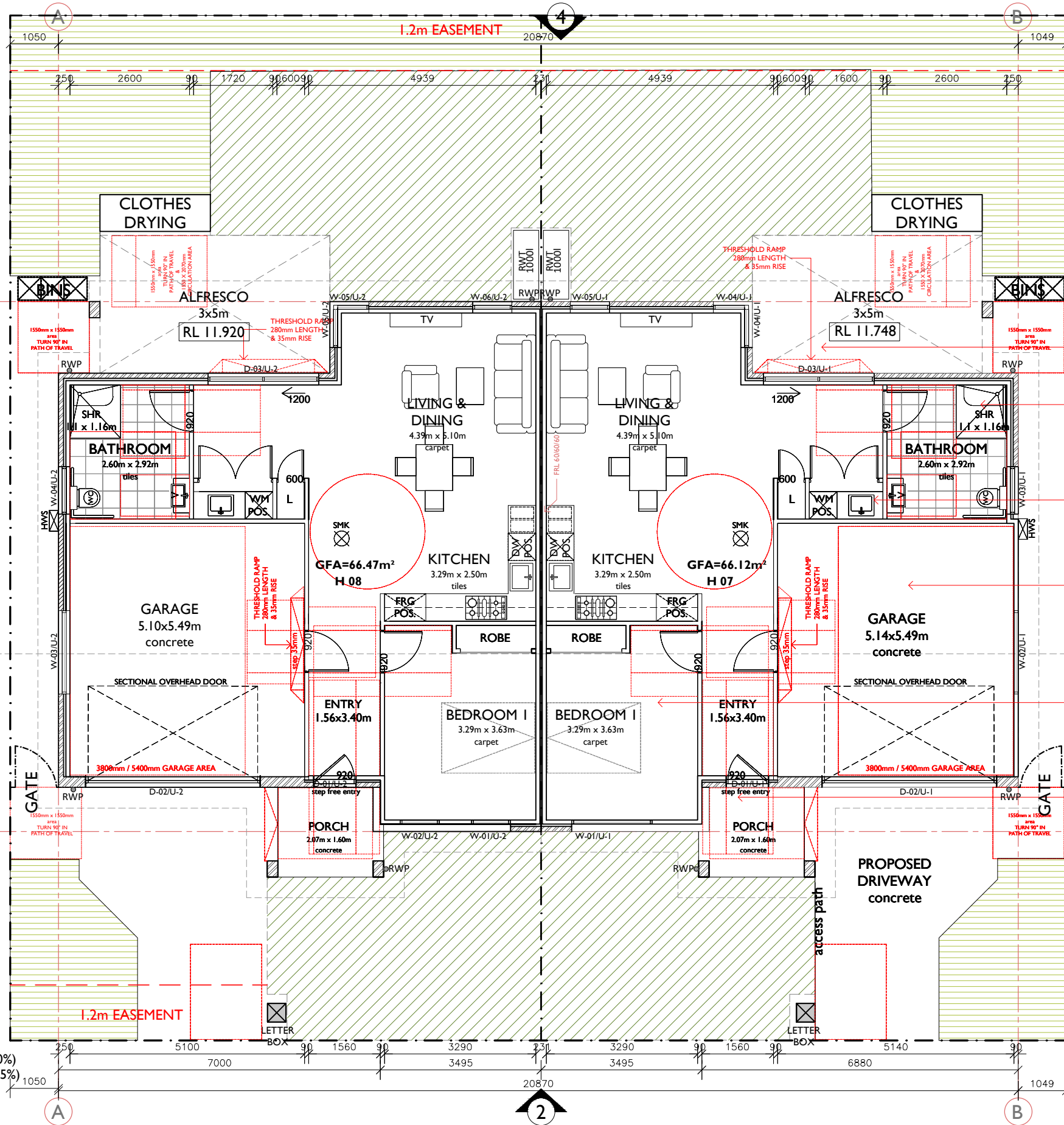
- ALL PROVISION & CIRCULATION TO COMPLY WITH AS 1428.1 & AS 4299
- ALL DOORS TO HAVE 850 & 900mm CLEAR OPENING & ALL DOORS LEVER HANDLE S AND HARDWARE TO COMPLY WITH AS 1428.1 & AS4299
- SLIP - RESISTANT, FIRM & EVEN FLOOR SURFACES TO BE PROVIDED



Date:	Description:	Issue:	Notes:		
November 2020	FOR DEVELOPMENT APPLICATION	A	<p>These drawings remain the executive copyright of Stiletto Homes. Reproductions in any form whether electronic, digital or otherwise shall not be allowed except by express permission granted in written by Stiletto Homes.</p> <p>Verify all dimensions on site and refer any discrepancies before proceeding with the works.</p> <p>These drawings are not to be scaled. Figured dimensions shall be used in all cases.</p> <p>This drawing is to be read in conjunction with other documentation in the drawing set.</p>		<div><div></div><div>STILETTO HOMES</div></div> <div><div>Project :</div><div>A RETIREMENT VILLAGE TO COMPRISE THIRTY NINE (39) SERVICED SELF-CARE DWELLINGS AND PRIVATE ACCESS ROAD at LOT 1, DP 1069961, HAMILTON ROAD, ALBION PARK, NSW</div><div>Drawing Title:</div><div>GROUND FLOOR PLAN_DUPLEX PROPOSAL_H07 & H08_LOT 29-30</div><div>Project No.:</div><div>T2 _ 2020 _ 02c</div><div>Date:</div><div>NOVEMBER 2020</div><div>Scale:</div><div>1 : 100</div><div>Sheet:</div><div>A3</div><div>Drawing No.:</div><div>A 63</div><div>Issue:</div><div>A</div></div>

GENERAL NOTES:

- ALL PROVISION & CIRCULATION TO COMPLY WITH AS 1428.1 & AS 4299
- ALL DOORS TO HAVE 850 & 900mm CLEAR OPENING & ALL DOORS LEVER HANDLE S AND HARDWARE TO COMPLY WITH AS 1428.1 & AS4299
- SLIP - RESISTANT, FIRM & EVEN FLOOR SURFACES TO BE PROVIDED



LANDSCAPE CALCULATIONS

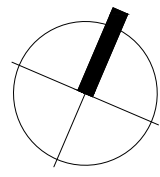
- SITE AREA -511.74m²
- TOTAL LANDSCAPE AREA -187.54m² or 36.65% - (min 30%)
- PROPOSED DEEP SOIL ZONES -110.83m² or 21.66% - (min 15%)

PROPOSED HOUSE AREAS:

- GROSS FLOOR AREA -66.47 + 66.12m² 132.59m²
- FSR = 25.90%
- TOTAL AREA -124.84m² +123.76m² 248.60m²

Notes:

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Project : A RETIREMENT VILLAGE TO COMPRISE THIRTY NINE (39) SERVICED SELF-CARE DWELLINGS AND PRIVATE ACCESS ROAD at LOT 1, DP 1069961, HAMILTON ROAD, ALBION PARK, NSW

Drawing Title: GROUND FLOOR PLAN_DUPLEX PROPOSAL_H07 & H08_LOT 31-38

Project No.: T2 _ 2020 _ 02c

Date: NOVEMBER 2020

Scale: 1 : 100

Sheet: A3

Drawing No.: A 68

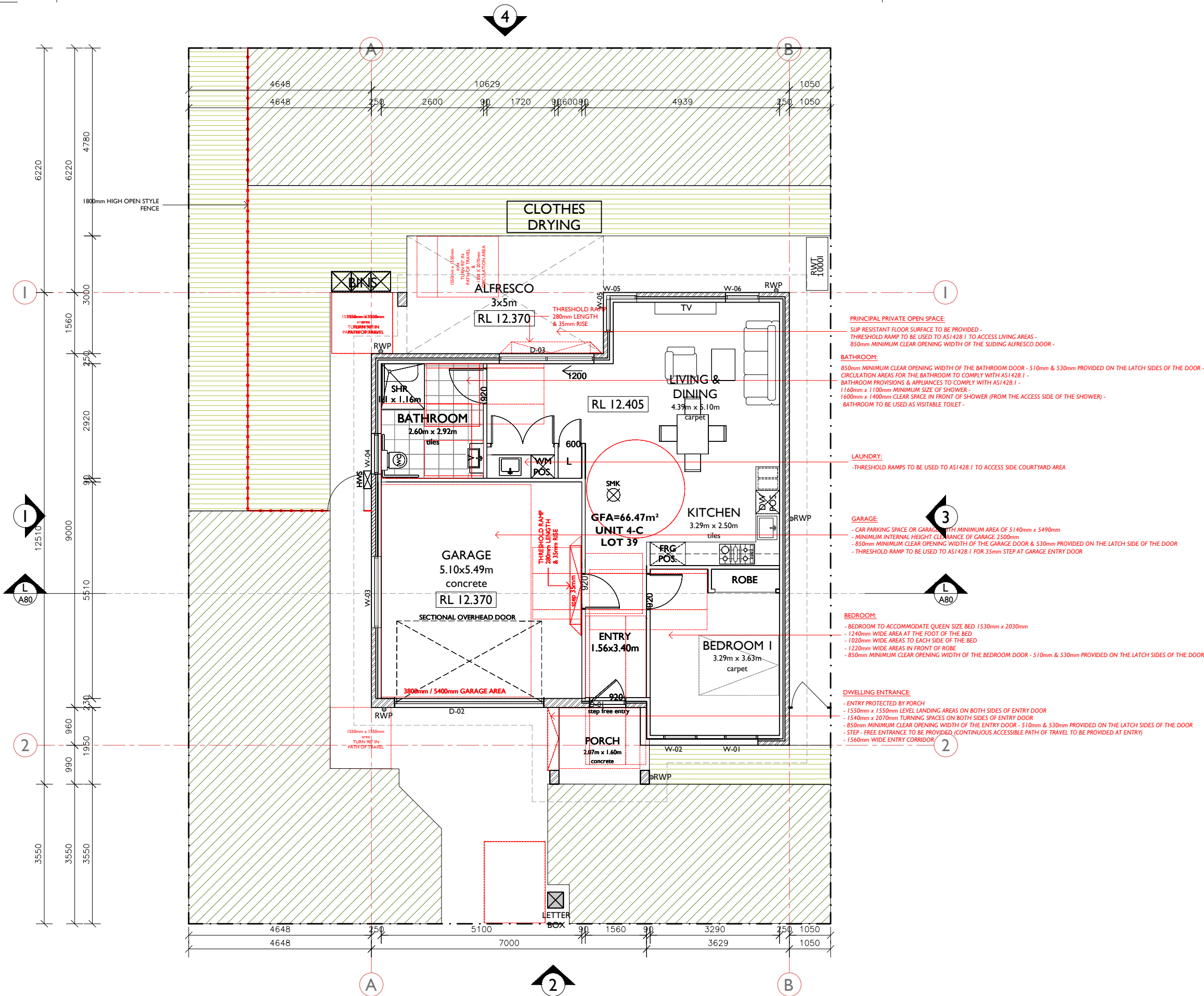
Issue: A

Scale 1 : 100

0 1m 2m 5m 10m

GENERAL NOTES:

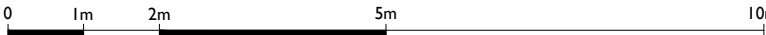
- ALL PROVISION & CIRCULATION TO COMPLY WITH AS 1428.1 & AS 4299
- ALL DOORS TO HAVE 850 & 900mm CLEAR OPENING & ALL DOORS LEVER HANDLE S AND HARDWARE TO COMPLY WITH AS 1428.1 & AS4299
- SLIP - RESISTANT, FIRM & EVEN FLOOR SURFACES TO BE PROVIDED



LANDSCAPE CALCULATIONS

- SITE AREA: 363.78m²
- TOTAL LANDSCAPE AREA: 183.46m² or 50.43% (minimum 30% is required)
- PROPOSED DEEP SOIL ZONE: 124.75m² or 34.29% (minimum 15% is required)
- PROPOSED HOUSE AREAS:**
 - GROSS FLOOR AREA -66.47m²
 - FSR = 18.28%
 - TOTAL AREA -124.84m²

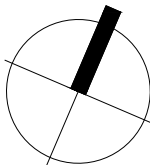
Scale 1 : 100




Date:	Description:	Issue:
November 2020	FOR DEVELOPMENT APPLICATION	A

Notes:

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		Project : A RETIREMENT VILLAGE TO COMPRISE THIRTY NINE (39) SERVICED SELF-CARE DWELLINGS AND PRIVATE ACCESS ROAD at LOT 1, DP 1069961, HAMILTON ROAD, ALBION PARK, NSW	
Drawing Title:		GROUND FLOOR PLAN_I BEDROOM UNIT_H09_LOT 39	
Project No.: T2 _ 2020 _ 02c		Drawing No.: A 76	
Date:	NOVEMBER 2020	Scale:	1 : 100
Sheet:	A3	Issue:	A